



TOWN OF
MIDDLETON
Wisconsin

BUILDING PERMIT PACKET

NEW SINGLE FAMILY HOME CONSTRUCTION

DRIVEWAY/CULVERT REQUIRMENTS
DECK INFORMATION AND REQUIREMENTS
INSPECTION PROCEDURES

**New Deck Plans
need to include ALL deck
framing and connector details as
per SPS 321.225 Deck Code**

Updated 5/17/2021

7555 W. OLD SAUK ROAD | VERONA, WI 53593 | Phone: 833-5887 | Fax: 833-8996

www.town.middleton.wi.us | info@town.middleton.wi.us

Instructions for Completing Building Permit

Town of Middleton

Last Updated: 05/17/2021

7555 W. Old Sauk Road
Verona, WI 53593-9700

Phone: 608-833-5887

Fax: 608-833-8996

info@town.middleton.wi.us

Inspector Tracy Johnson

johnsoninspection@gmail.com

608-444-0372

Please type or use ink to complete the form.

The Owner, builder or agent shall complete the application form down through the Signature of Applicant block, submitting it and building plans and specifications to the enforcing municipality. Permit application data is used for statewide statistical gathering on new one- and two-family dwellings, as well as for local code administration. Please use ink in all fields.

PERMIT REQUEST

- Check the type of Permit Requested: Construction, HVAC, Electrical, Plumbing, Etc.
- Fill in the owners current Mailing Address and Telephone Number
- If the project will disturb one acre or more of soil, the project is subject to the additional erosion control and storm water provisions of ch. NR 151 of the WI Administrative code. Checking this box will satisfy the related notification requirements of ch. NR 216. (For the Town of Middleton, the area is 4,000 sq ft or more)
- Fill in **Contractor and Contractor Qualifier Information**. Per s. 101.654 (1) WI Stats., an individual taking out an erosion control or construction permit shall enter his or her dwelling contractor certificate number, and name and certificate number of the dwelling contractor qualifier employed by the contractor, unless they reside or will reside in the dwelling. Per s. 101.63 (7) Wis. Stats., the master plumber name, electrician and HVAC contractors and their associated license numbers must be entered on the permit before a permit is issued.

PROJECT LOCATION

- Fill in building address (number and street or sufficient information so that the building inspector can locate the site.)
- Local zoning, land use and flood plain requirements must be satisfied before a building permit can be issued. County approval may be necessary.
- Fill in Zoning District, lot area and required building setbacks.

PROJECT DATA

- Fill in all numbered project data blocks (1-14) with the required information. All data blocks must be filled in, including the following:
 2. Area (involved in project):
 - Basements – include unfinished area only.
 - Living area – include any finished area including finished areas in basements.
 - Two-family dwellings – include separate and total combined areas.
 3. Occupancy – Check only 'Single Family' or Two-Family' if that is what is being worked on. Do NOT check either of these two blocks if only a new detached garage is being built, even if it serves a one- or two-family dwelling. Instead, check 'Garage' and number of stalls. If the project is a community based residential facility serving 3 to 8 residents, it is considered a single-family dwelling.
 9. HVAC Equipment – Check only the major source of heat, plus central air conditioning, if present. Only check 'Radiant Baseboard' if there is no central source of heat.
 10. Plumbing – A building permit cannot be issued until a sanitary permit has been issued for any new or affected existing private onsite wastewater treatment system.
 14. Estimated Cost – Include the total cost of construction, including materials and market rate labor, but not the cost of land or landscaping.

SIGNATURE – Sign and date the application form. If you do NOT possess the Dwelling Contractor certification, then you will need to check the owner-occupancy statement for any erosion control or construction permits.

CONDITIONS OF APPROVAL – The Town of Middleton, having jurisdiction, will use this section to state any conditions that must be complied with pursuant to issuing the building permit. Project description MUST be filled out to receive a permit.

ISSUING JURISDICTION: - This area will be completed by the authority having jurisdiction.

APPLICANT- ALL INSPECTIONS MUST BE PHONED IN TO 608-459-8800

JOHNSON INSPECTION LLC P.O. Box 127 Arena, WI 53503 Phone: 608-444-0372 johnsoninspection@gmail.com	<h2 style="margin: 0;">UNIFORM APPLICATION</h2> <h3 style="margin: 0;">BUILDING PERMIT</h3> <p style="margin: 5px 0;">Wisconsin Statutes 101.63, 101.73</p> <p style="margin: 0;">The information you provide may be used by other government agency programs. [(Privacy Law, S. 15.04 (1)(m))]</p>	Permit No. _____ Project Description: _____
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PERMIT REQUESTED Construction HVAC Electric Plumbing Erosion Control Other:

Owner's Name:	Mailing Address:	Tel.:
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Contractor Name & Type	License# & Expiration	Mailing Address	Phone & Email
Dwelling Contractor (Constr.)			
Dwelling Contr. Qualifier			
HVAC Contractor:			
Electrical Contractor:			
Plumbing Contractor:			

PROJECT LOCATION	Lot area	Sq. ft.	One acre or more of soil will be disturbed	_____ 1/4, _____ 1/4, of Section _____, T _____ N, R _____ E (or) W
Site Address:		Subdivision Name:		Lot No. _____
Zoning District(s)		Zoning Permit No.	Setbacks:	Front _____ ft. Rear _____ ft. Left _____ ft. Right _____ ft.

1. PROJECT	3. OCCUPANCY	6. ELECTRICAL	9. HVAC EQUIPMENT	12. ENERGY SOURCE																					
<input type="checkbox"/> New <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Other: <input type="checkbox"/> Repair <input type="checkbox"/> Raze <input type="checkbox"/> Move	<input type="checkbox"/> Single Family <input type="checkbox"/> Two Family <input type="checkbox"/> Commercial <input type="checkbox"/> Garage <input type="checkbox"/> Other:	Entrance Panel Amps: _____ <input type="checkbox"/> Underground <input type="checkbox"/> Overhead	<input type="checkbox"/> Forced Air Furnace <input type="checkbox"/> Radiant Baseboard/Panel <input type="checkbox"/> Heat Pump <input type="checkbox"/> Boiler <input type="checkbox"/> Central Air Cond. <input type="checkbox"/> Fireplace <input type="checkbox"/> Other:	<table style="width:100%; border-collapse: collapse;"> <tr> <td style="border: none;">Fuel</td> <td style="border: none;">Nat Gas</td> <td style="border: none;">LP</td> <td style="border: none;">Oil</td> <td style="border: none;">Elec</td> <td style="border: none;">Solid</td> <td style="border: none;">Solar</td> </tr> <tr> <td style="border: none;">Space Htg</td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> </tr> <tr> <td style="border: none;">Water Htg</td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> <td style="border: none;"><input type="checkbox"/></td> </tr> </table>	Fuel	Nat Gas	LP	Oil	Elec	Solid	Solar	Space Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Water Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fuel	Nat Gas	LP	Oil	Elec	Solid	Solar																			
Space Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																			
Water Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																			
2. AREA INVOLVED	4. CONST. TYPE	7. WALLS	10. SEWER	13. HEAT LOSS																					
Bsmt _____ Sq Ft Living Area _____ Sq Ft Garage _____ Sq Ft Other _____ Sq Ft Total _____ Sq Ft	<input type="checkbox"/> Site-Built <input type="checkbox"/> Mfd: <input type="checkbox"/> WI <input type="checkbox"/> UDC <input type="checkbox"/> U.S. <input type="checkbox"/> HUD	<input type="checkbox"/> Wood Frame <input type="checkbox"/> Timber/Pole <input type="checkbox"/> Steel <input type="checkbox"/> ICF <input type="checkbox"/> Other:	<input type="checkbox"/> Municipal <input type="checkbox"/> Sanitary Permit No.: _____	_____ BTU/HR Total Calculated Envelope and Infiltration Losses ("Maximum Allowable Heating Equipment Output" on Energy Worksheet; "Total Building Heating Load" on RES check report)																					
	5. STORIES	8. USE	11. WATER	14. EST. BUILDING COST w/o LAND																					
	<input type="checkbox"/> 1-Story <input type="checkbox"/> 2-Story <input type="checkbox"/> Other: <input type="checkbox"/> Plus Basement	<input type="checkbox"/> Seasonal <input type="checkbox"/> Permanent <input type="checkbox"/> Other:	<input type="checkbox"/> Municipal Utility <input type="checkbox"/> Private On-Site Well	\$ _____																					

I understand that I am subject to all applicable codes, statutes and ordinances and with the conditions of this permit; understand that the issuance of the permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to CHP NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the back of the permit if not signing below. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.

I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the reverse side of the last ply.

APPLICANT'S SIGNATURE _____ **DATE SIGNED** _____

APPROVAL CONDITIONS This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty.

ISSUING JURISDICTION	<input type="checkbox"/> Town of <input type="checkbox"/> Village of <input type="checkbox"/> City of <input type="checkbox"/> County of <input type="checkbox"/> State	State Contracted Inspection Agency# _____	Municipality Number of Dwelling Location _____
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FEES:	INSPECTIONS REQUIRED	WI PERMIT SEAL #	PERMIT ISSUED BY:
TOTAL:	<input type="checkbox"/> Footing <input type="checkbox"/> Underfloor Plumbing/test <input type="checkbox"/> Foundation <input type="checkbox"/> OS Sewer Lateral/test <input type="checkbox"/> Rough Construction <input type="checkbox"/> Electric Service <input type="checkbox"/> Rough Electrical <input type="checkbox"/> Insulation <input type="checkbox"/> Rough HVAC <input type="checkbox"/> Final <input type="checkbox"/> Rough Plumbing/test		Name: Tracy Johnson Cert No. 664566 Telephone : 608-444-0372 Date:

RECEIPT: Check #: _____ From: _____ Rec'd by: _____ Date: _____



New Single-Family Home Construction Checklist:

- One (1) set of 11x17 plans
- Building Permit Application
- Dane County Zoning Permit
- Heat CALC's
- Site Plan
- Erosion Control Plan
- Wall Bracing Plan
- Driveway Permit Application

Cautionary Statement to Owners Obtaining Building Permits

Town of Middleton

Last Updated: 5/17/2021

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101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

(a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

(b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Cautionary Statement to Contractors for Projects Involving Building Built Before 1978

If this project is in a dwelling or child-occupied facility, built before 1978, and disturbs 6 sq. ft. or more of paint per room, 20 sq. ft. or more of exterior paint, or involves windows, then the requirements of Ch. DHS 163 requiring Lead-Safe Renovation Training and Certification apply. Call (608)261-6876 or go to <http://dhs.wisconsin.gov/lead/WisconsinRRPRule.htm> for details of how to be in compliance.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service center.

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to Ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

I understand that if Public Recreational Trail Easements and/or Public Stormwater Easements exist on the property, I am required to not disturb the improvements and grades and drainage patterns previously established within those easements during construction related to this permit.

Owner's Signature: _____ Date: _____

Building Permit Deposit Requirements

Town of Middleton

Last Updated: 05/17/2021

7555 W. Old Sauk Road

Verona, WI 53593-9700

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Permit Number _____

Builder/Homeowner _____

Email _____

Job Address _____

A \$2,500 Building Permit Deposit is required to ensure the following:

- All inspections have been called in and passed,
- Driveway has been installed per Town of Middleton Driveway Ordinance,
- The Street Ditch Elevations have not been changed, and
- Public Easements and Improvements therein have not been disturbed or modified by construction.

The Deposit will be returned at the end of the project if all items were completed and passed Building Inspections, including:

- Concrete, timber, boulder or stone may not be placed at culvert ends.
- Maximum Driveway width is 22' at right-of-way and 28' at the street pavement edge for residential driveways.
- Surface of the driveway connecting with the street shall slope downward and away from the street, a minimum of 3" of pitch sloping back a minimum of 5' from street edge.
- Construction equipment and vehicles shall be limited to one entrance per lot in the location of the future driveway.
- Driveway culvert lengths shall be such as to provide for a maximum slope of 4:1 (4'horizontal: 1' vertical)
- All driveways must be inspected prior to paving or concrete being poured to ensure that they are in compliance with the Town's Driveway Ordinances. Any driveway that is completed before an inspection is done, and that does not meet Town Ordinance standards, will be required to be removed and replaced at the contractor/owner's expense.
- The front of the mailbox shall be at least 18" back from the edge of the street and shall comply with Town of Middleton Code, USPS requirements. Note that Town requirements include limitations on mailbox posts.
- Fire # Installed.
- Public Easements and Improvements herein have not been disturbed or modified by construction.

Notes/Comments:

Building Permit Notes

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- 1) By law, all permit and inspection activities must be undertaken by a Certified Building Inspector. No other Town employee is authorized by law to undertake activities related to building permits or inspections.
- 2) The Town of Middleton has adopted the State of Wisconsin Uniform Dwelling Code.
- 3) The Building Inspector does not hold office hours at the Town Hall. Contact him directly via phone or email.
Phone: (608) 459-8800 E-mail: johnsoninspection@gmail.com
- 4) The issuance of most building permits must be preceded by the issuance of a Dane County Zoning Permit. The Zoning Permit is issued by the Dane County Planning & Development Department located in Room 116 of the City/County Building, telephone number (608) 266-4266.
- 5) The Town of Middleton assesses double permit fees to any individual who proceeds without a proper Building Permit. **A Building Permit must be issued prior to any construction work, including ground disturbance activities.**
- 6) No building activity may occur until a driveway permit has been issued and the driveway installed, including culvert if required.
- 7) All building and landscaping activities must be confined to the lot or area for which the building permit has been issued. **No construction activity may occur on any adjoining property.** All building and landscaping activities must occur outside of existing Public Recreational Trail easements and Public Stormwater easements.
- 8) The Town of Middleton Building Code includes erosion control measures. The Town considers erosion control a very important component of appropriate construction activities. Contractors are reminded that a lack of appropriate erosion control measures is the basis for citations, fines and forfeitures or revocation of a Building Permit. Contractors are responsible for conducting a site inspection on at least a weekly basis and within 24 hours of any rainfall of ½ inch or more.
- 9) The construction of a new residential building is subject to the final inspection by the Building Inspector and the issuance of an Occupancy Permit. No one may occupy a new residential building or move personal belongings into a residential building without a properly issued Occupancy Permit or approval from the Building Inspector.
- 10) The Town of Middleton requires all contractors applying for a Building Permit to provide proof of registration with the Department of Safety and Professional Services.
- 11) The Town requires a copy of the homeowner's driver license as a part of the permit application to properly issue and file a building permit violation citation if needed.
- 12) The Town requires a minimum 4' high fence around all swimming pools or a mechanical cover that will support 250 pounds.
- 13) The issuance of any Building Permit for commercial purposes requires the approval of the Town Plan Commission and the Town Board. Applicants for a Commercial Building Permit should consider the timing of such approvals when contemplating construction.
- 14) Contractors must dispose of construction waste and materials properly. Construction waste may not be dumped in ditches or adjacent properties. Contractors are responsible for maintaining the construction site free from litter.
- 15) Any potential complaint or grievance regarding building permit or inspection activities in the Town of Middleton must be made in writing to the Town Clerk at the address listed above.

Deck Information Requirements

Town of Middleton

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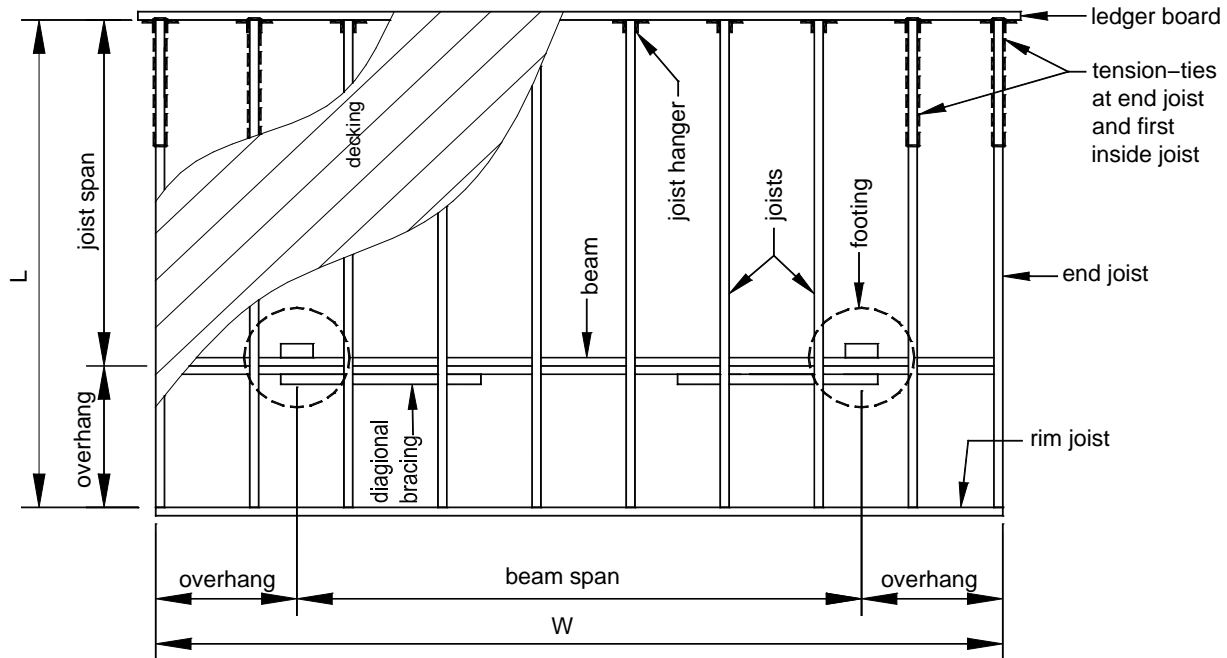
Inspector Tracy Johnson

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- All decks with height of more than 24" are required to have guardrails with a height of not lower than 36". Spindles are also required with a spacing of not more than 4" between spindles. If adding on to existing deck, guardrails and spindle spacing must meet existing code requirements.
- STAIR DETAILS:
 - Width - Stairs shall measure at least 36" inches in width. Handrails and associated trim may project no more than 4 1/2 inches into the required width at each side of stairs.
 - Treads and Risers - Except for spiral stairs and winders, risers may not exceed 8" inches in height, measured vertically from tread to tread. Treads shall be at least 9" inches wide measured horizontally from nosing to nosing.
 - *Note:* This means the first tread stepping down from deck and the last tread stepping down to the ground must be uniform with other steps. Beware of the pre-cut stringers (steps) that you can purchase from your local retail center they might not meet code on the bottom step.
 - Variances - Within individual stairways, riser heights may vary in uniformity by a maximum of 3/8th's of an inch.
 - Within individual stairways, tread widths may vary in uniformity by a maximum of 3/16th's of an inch.
- HANDRAILS AND GUARDRAILS:
 - Handrails or guardrails shall be provided on all open sides of stairs consisting of more than 3 risers and on all open sides of that are elevated more than 24 inches above the floor or exterior grade. Handrails and guardrails shall be constructed to prevent the through passage of Sphere with a diameter of 4 3/8 inches or larger. Handrails and guardrails shall be designed and constructed to withstand a 200-pound load applied in any direction. Exterior handrails and guardrails shall be constructed of metal; decay resistant or pressure treated wood or shall be protected from the weather.
- HEIGHT:
 - Handrails shall be located at least 30 inches, but no more than 38 inches above the nosing of the treads. Handrails also must be graspable, see attached sheet for examples. Measurements shall be taken from the hard structural beneath any finish material to the top of the rail. Variations in uniformity are allowed only when a rail contacts a wall or newel post or where a turnout or volute is provided at the bottom steps.
- FOOTINGS:
 - Decks that are fastened to the house are required to have footing. Footing must be 48" in depth and can be round or of a block design. Design footing for anticipated load such as future roof.
 - Decks that are free standing and not attached to the house may set on concrete piers and must be properly cross-braced. Concrete piers shall be located on undisturbed to compacted soil, free of organic material (Black Dirt)

Figure 35
TYPICAL DECK FRAMING PLAN



Decking: 2x4 2x6 five-quarter board wood-plastic composite (per ASTM D 7032)
 Other decking, evaluation report number: _____

Joists: size: 2x6 2x8 2x10 2x12 spacing: 12 in. 16 in. 24 in.
joist span dimension: _____ft. – _____in.
overhang: Yes No overhang dimension: _____ft. – _____in.
rim joist: 2x6 2x8 2x10 2x12

Beam(s): number of plies: 2 3 size: 2x6 2x8 2x10 2x12
overhang: Yes No overhang dimension: _____ft. – _____in.

Posts: size: 4x4 4x6 6x6 height: _____ft. – _____in.

Footings: size: _____in. square round thickness: _____in.

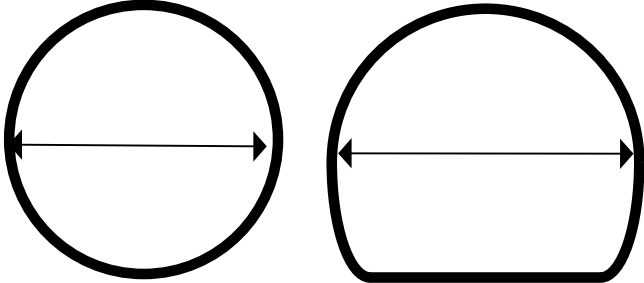
Ledger: ledger board size: 2x8 2x10 2x12 Not applicable (free-standing deck)
fastener: Through bolt Lag screw Wood screw
 Expansion anchor Adhesive anchor

Lateral support: Tension-tie Diagonal bracing, size: 2x
(not permitted for free-standing deck)

Deck size: L= _____ft. – _____in. W= _____ft. – _____in.

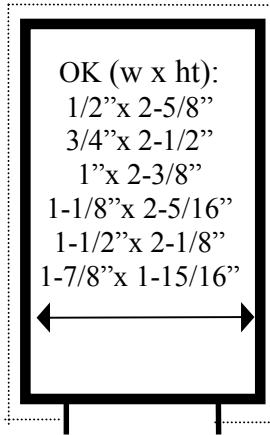
21.04(2)(a)5. HANDRAIL SHAPES

ROUND

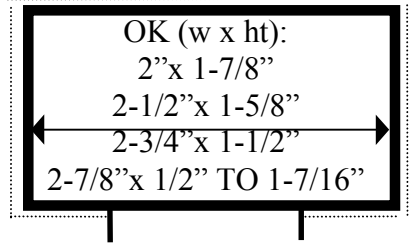


**MAXIMUM 2"
DIAMETER**

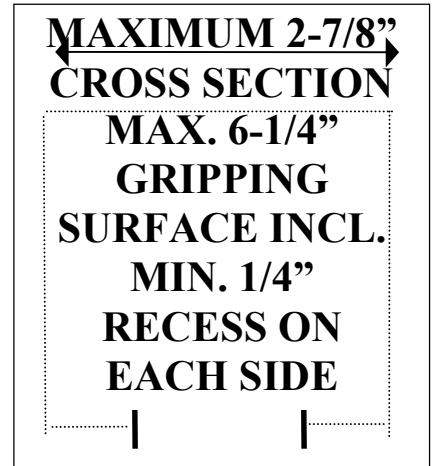
RECTANGULAR



OK (w x ht):
1/2"x 2-5/8"
3/4"x 2-1/2"
1"x 2-3/8"
1-1/8"x 2-5/16"
1-1/2"x 2-1/8"
1-7/8"x 1-15/16"

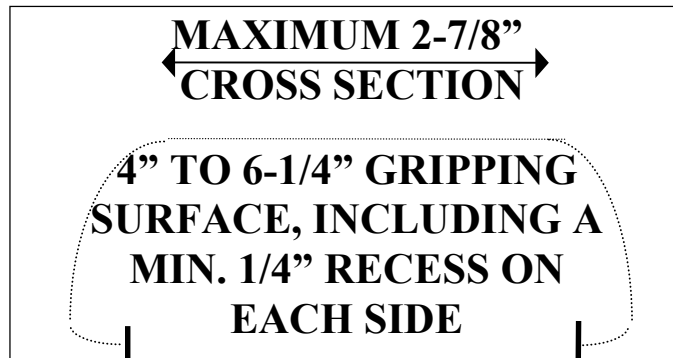
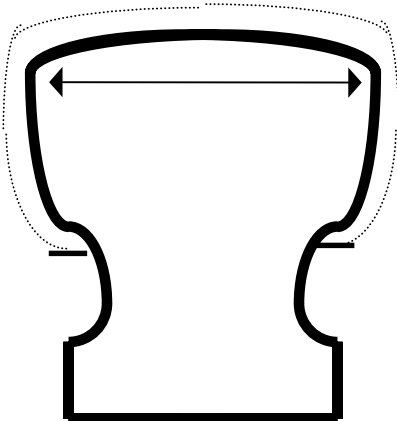
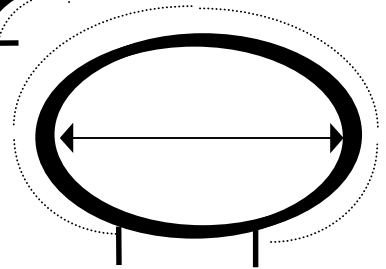
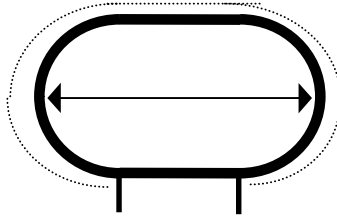
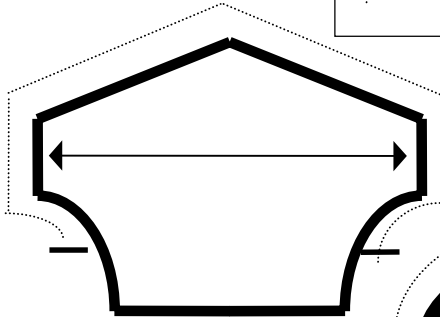
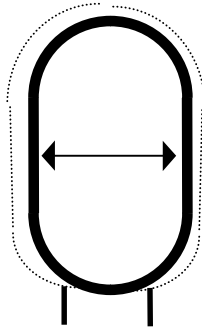
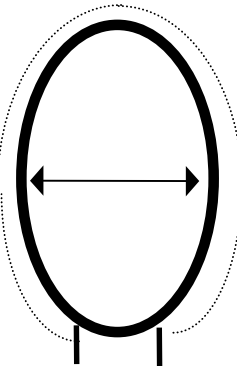
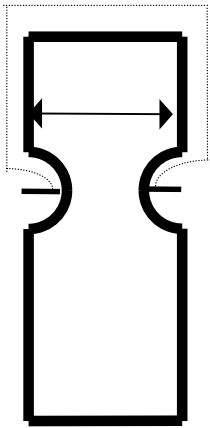


OK (w x ht):
2"x 1-7/8"
2-1/2"x 1-5/8"
2-3/4"x 1-1/2"
2-7/8"x 1/2" TO 1-7/16"

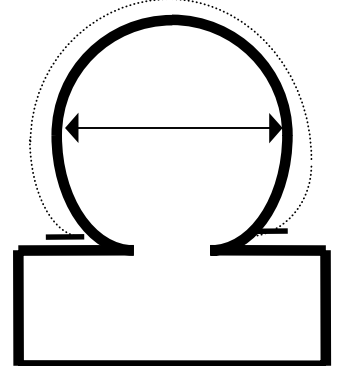


**MAXIMUM 2-7/8"
CROSS SECTION**
**MAX. 6-1/4"
GRIPPING
SURFACE INCL.
MIN. 1/4"
RECESS ON
EACH SIDE**

OTHERS



**MAXIMUM 2-7/8"
CROSS SECTION**
**4" TO 6-1/4" GRIPPING
SURFACE, INCLUDING A
MIN. 1/4" RECESS ON
EACH SIDE**



Inspection Procedures

Town of Middleton

Last Updated: 05/17/2021

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608-459-8800

GENERAL:

- When a building permit is issued for your project, ***you are responsible for calling the inspector*** for the required inspections at the appropriate phases of your project.
- Inspections are made during scheduled office hours.
- Building codes allow 48 working hours (except for the final inspection) for these inspections to be accomplished by the inspector. When asked, we will make every effort to respond sooner but advance planning ensures an inspection on schedule.
- When possible, schedule multiple inspections simultaneously.

Normally required inspections for new construction:

1. A footing inspection. (Bleeder drain tiles @ 8'0" on center required on new construction.)
2. A foundation inspection after wall has been poured with exterior drain tile in place prior to backfilling. (On a small addition with plenty of property line setbacks, the footing and foundation inspections may be combined.)
3. An underfloor plumbing inspection. The state plumbing code requires 10'0" head of water held for 15 minutes for a water test and 3 PSI of air pressure held for 15 minutes for an air test. Both tests need to be done in the presence of the inspector.
4. A temporary or permanent electrical service inspection. This service must be inspected, approved, and released by the inspector prior to the local utility company energizing the system.
5. The rough construction, electrical, plumbing, and heating inspections (may be done at the same time) prior to covering up the work.
6. An insulation inspection, prior to the installation of drywall or other wall finish materials.
7. A final inspection prior to moving personal belongings in and/or occupying the new space.
8. A driveway and culvert inspection. Non-compliance shall result in the removal or modification of the driveway, culvert, and/or culvert end treatment.

To request an inspection:

Call Johnson Inspection at 608-459-8800 or email johnsoninspection@gmail.com.

In order to save trips to the job site, it is asked that multiple inspections be scheduled simultaneously, whenever possible.



TOWN OF
MIDDLETON
Wisconsin

BUILDING PERMIT PACKET

DRIVEWAY/CULVERT

Updated 5/17/2021

7555 W. OLD SAUK ROAD | VERONA, WI 53593 | Phone: 833-5887 | Fax: 833-8996

www.town.middleton.wi.us | info@town.middleton.wi.us

Driveway/Culvert Permit

Town of Middleton

Last Updated: 05/17/21

7555 W. Old Sauk Road
Verona, WI 53593-9700
Phone: 608-833-5887
Fax: 608-833-8996
info@town.middleton.wi.us

Part A: (To be Completed by Applicant and submitted to Town)

Builder's Name: _____

Builder's Address: _____

Builder's Phone: _____ Builder's Email: _____

Property Owner's Signature: _____ Date / / _____

Property Owner's Name: _____

Property Owner's Address: _____

Property Owner's Phone: _____ Property Owner's Email: _____

Lot or Parcel Description: Street Address: _____

Plat Name/CSM/Lot Number: _____

Metes and Bounds: _____

Driveway Details:

_____ Sketch Attached (Sketch must include the spot elevations at roadway tie in, low point of driveway, 20' from edge of pavement and proposed garage elevation. Sketch must be in plan view and show the relative location of proposed home and driveway within the property. The sketch must include driveway dimensions or have a proper scale. See example attached.)

Driveway Length (Measured from edge of street pavement to face of residential/commercial structure): _____

Check All That Apply:

_____ Driveway Enhancement (i.e. grade changes, additional pavement)

_____ New Driveway _____ Long and/or Shared Driveway

_____ Asphalt Surface _____ Concrete Surface _____ Gravel Surface

Other Information: _____

Part B: (To be Completed by Town and forwarded to Town Engineer and Town Building Inspector)

Date: _____ / _____ / _____ Fees Collected: _____ Town's Signature: _____

Part C: (To be Completed by Town Engineer)

Required Pipe Size, Slope and Material from Development Drainage Plans (if available)*

Other Comments:

Date: _____ / _____ / _____

Engineer's Signature: _____

*Where the required pipe size, slope and material has been determined as required by Town Land Division Ordinance, this information is provided by the Developer's engineer of record. The Town of Middleton is not responsible for the accuracy of the culvert size computations or issues that may arise due to errors in the information provided.

Required Inspections: (Applicant (Builder or Owner only) to request inspections from Town Engineer. Engineer will complete the inspections within 4 working days.)

- Before culvert is installed – to confirm culvert is being placed at the grades of the established ditch or to the grades and slopes required by the approved development plan; and to confirm that the location of the driveway is consistent with the proposed application. Modifying the existing ditch grades could negatively impact adjacent properties. **Upon completion of the driveway paving, and restoration of the ditch disturbed by construction.**
- **Owner or applicant are to identify the proposed driveway location on the property with a lath or other means before calling for this inspection.**
- Contractor or Homeowner is required to call for a driveway inspection **BEFORE THE CONCRETE IS POURED OR PAVED WITH ASPHALT.**

Notes:

- Contractor to verify if existing street has binder course or final pavement at time of driveway installation. The placement of final pavement typically adds and additional 1.75" of pavement depth at the roadway edge. Driveways installed adjacent to binder course pavement shall **leave the last 5 feet unpaved** abutting the street or construct your driveway with concrete, asphalt, brick, etc., to the edge of pavement and then have the last 5 feet removed and replaced at the owner's expense when final pavement is placed.
- The applicant represents all parties in interest, and that such proposed driveway is for the bona fide purpose of securing access to the applicant's property and not for the purpose of parking or servicing vehicles, advertising, storage or merchandising of goods within the dedicated portion of the Town road or street, or for any other purpose.

I understand work completed without written authorization from the Town Board or their representatives is subject to removal and/or replacement at the Owner's expense. I agree that all work shall be in compliance with Chapter 8.01, of the Town's Ordinances at the time of installation and with the notes listed on the opposite side of this form. I agree to inform any contractors involved with the installation of the driveway and/or culvert of this information and the notes listed.

For lots with Public Recreational Trail easements or stormwater easements, a staff level site plan review is required. These lots are subject to restrictions per Town Code.

Applicants with driveways that meet the long and/or shared driveway ordinance requirements, driveways requiring a variance or lots that require a site plan review will be billed actual review fees in excess of the initial application fee.

In the event that the Town incurs additional fees to obtain compliance with the terms of the driveway permit or site erosion control, the applicant shall be responsible for all such fees.

X _____

Builder's Signature

_____/_____/_____

Date

I understand and agree that I will be responsible for payment of actual review fees if I require a variance, site plan review, or if my driveway is a long and/or shared driveway. I will receive an invoice for those fees, which invoice must be paid within thirty (30) days of the date of invoice. I further understand that, if I dispute any such invoice, I must inform the Town Clerk of the dispute within thirty (30) days of the date of the invoice by submitting a letter to the Town Clerk identifying the disputed fees and the reason for the dispute. In the event no timely dispute is raised and I fail to timely pay the invoice, I agree that the fees may be placed on the tax roll for the tax parcel served by the driveway together with an administrative charge equal to 10% of the outstanding amount due or \$25.00, whichever is greater.

X _____

Owner's Signature

_____/_____/_____

Date

X _____

Owner's Signature

_____/_____/_____

Date

(All owners must sign)

(Over)

Driveway Permit/Culvert Requirements

Town of Middleton

Last Updated: 5/17/2021

7555 W. Old Sauk Road
Verona, WI 53593-9700
Phone: 608-833-5887
Fax: 608-833-8996
info@town.middleton.wi.us

When your personnel, a subcontractor or landscaper is working on a new or replacement driveway, this information will guide personnel or subcontractor(s) in their work:

General Information:

Inspections are required for all driveways **prior** to paving or concrete being poured to ensure that they are in compliance with the Town's Driveway Ordinances and deed restrictions applicable to the property. **Any driveway that is completed before an inspection is done, and not meeting town Ordinance standards and/or deed restrictions applicable to property, will be required to be removed and replaced at the contractor/owner's expense.**

- All driveways will be installed at an elevation matching final edge of road elevations.
- Temporary asphalt ramping on the street pavement may be placed if surface asphalt is not yet installed.
- Construction equipment and vehicles shall be limited to one entrance per lot in the location of the future driveway.
 - Driving through ditches or across utility easements with trucks and equipment will not be permitted.
 - Non-compliance will result in a substantial fine

Driveway permits in the Town of Middleton require:

NOTES:

- Precast concrete end sections or prefabricated metal apron end sections are required on all culverts.
- Concrete, asphalt, timber, boulders or stone shall not be placed at culvert ends or on any down slope or fore slope created by the driveway construction within the public right-of-way unless such materials are placed to conform to allowable slopes from the driveway edge to the grade at the culvert end and do not create any vertical surfaces.
- Maximum driveway width is 22' at right-of-way and 28' at the street pavement edge for residential driveways.
- The surface of the driveway connecting with the street shall slope downward and away from the street, for a minimum of five feet measured from the edge of the roadway, and shall be pitched such that the lowest point of the driveway within the first 10 feet is a minimum of 3" lower in elevation than the lowest elevation along the line formed by the driveway abutting the roadway.
- Maximum grade for the first 20 feet of driveway measured from the street pavement edge is 4%. Maximum grade beyond the first 20 feet is 10%.
- Culvert size indicated is for a circular pipe. In most cases, elliptical equivalent pipes are acceptable.
- Driveway culverts shall be installed prior to any construction activity occurring on the site.
- Construction equipment and vehicles shall be limited to **one entrance** per lot in the location of the future driveway.
- Driveway culvert lengths shall be such as to provide for a maximum slope of 4:1 (or a 4' horizontal run to 1' vertical drop) from the driveway edge to the culvert end when the posted speed limit is less than 45 MPH. When posted speeds are equal to or greater than 45 MPH, culvert lengths shall be such as to provide for a maximum slope of 6:1 (6 feet horizontal to 1 foot vertical) from the driveway edge to the culvert end. In general, culverts serving only one property shall not exceed 50 feet in length unless approved by the Town Engineer.
- Driveways can be constructed with concrete, asphalt, or brick. However, if a driveway is constructed prior to the surface layer of asphalt being placed, a minimum of 5 feet of the driveway (measured from the roadway pavement edge), must be constructed with cold patch asphalt, hot mix asphalt, or crushed stone. Under current Town policy, Developer must install the binder course of asphalt for the public streets and then wait a minimum of one calendar year before installing the surface course of asphalt. Each

Owner who constructs a driveway before the surface course is placed on the public street adjoining the Owner's Lot shall construct the driveway to match the elevation of the surface course except for the last five feet which shall be sloped down to match the binder course elevation. At the time the surface course is placed, the last five (5) feet of asphalt pavement shall be removed and replaced to match the surface asphalt elevation.

- For concrete or brick driveways built after the surface asphalt is placed, the concrete may extend to the edge of the street pavement and must match the surface asphalt elevation. Concrete driveways built at this time and extended to the street pavement edge shall be built with a control joint five feet from the asphalt roadway edge.
- Any Owner who does not comply with these requirements may be required by the Town to remove and correct the Owner's driveway at the Owner's expense. Before the surface course is placed on a public street, the Town's snowplows may damage driveways which have been placed above the elevation of the binder course of asphalt. The Town will not be liable for the repair of any such damage. Any such damage shall be repaired at the sole expense of the Owner.
- Each Owner shall install the Owner's driveway within thirty days after completion of construction of the Owner's house, unless not permitted by weather conditions. If weather conditions delay completion of a driveway, the driveway shall be completed as soon as weather permits.
- Each Owner shall comply with any driveway ordinance of the Town from time to time in effect and shall obtain from the Town any driveway permit required by such an ordinance before any driveway is constructed or any culvert placed.
- It is the responsibility of the Owner to confirm whether the surface course has been placed when the Owner constructs the driveway. The Owner can contact the Town for this information.
- Inspections are required for all driveways prior to paving or concrete being poured to ensure that they are in compliance with the Town's Driveway Ordinances. All driveways will be installed at an elevation that will match final edge of road elevations.

Contractor or Homeowner is required to call for a driveway inspection a minimum of three working days **BEFORE THE CONCRETE IS POURED OR PAVED WITH ASPHALT**. Any driveway that is completed before an inspection is done, and that does not meet Town Ordinance standards, will be required to be removed and replaced at the contractor/owner's expense.

Road right-of-way

- See Typical Town Right-of-way X-section Detail and description below. These items document Town expectations for the placement/non-placement of various items in the Town right-of-way by property owners.
- The Town of Middleton does not permit boulder walls or retaining walls of any sort in the road right of way.
- The Town requires both the builder and property owner to sign the driveway permit to strengthen communication with homeowners and their landscapers.
- To reduce the need for retaining walls, the Town requires the installation of culverts that are long enough so the slope ratio from the end of the culvert to the drive is 4:1.
- Non-compliance will result in the removal and/or modification of the driveway, culvert, and/or culvert end treatment.
- There will be no distinction between driveways/culverts on dead end streets and those on through streets.

Erosion, Sediment and Tracking

Chapter 17 of the Town of Middleton Ordinances includes the following language:

- 17.07: Any person, firm or corporation who causes or permits erosion, sediment deposits tracking or dropping of dirt on adjacent land, public streets or bodies of water from any land.... shall be deemed in violation of this chapter and subject to the penalties provided in Section 17.10.
- 17.05 applies when an area of 4,000 or more square feet is disturbed resulting in the loss or removal of protective ground cover or vegetation. Such activity requires a permit. To obtain a permit an Erosion Control Plan must be submitted, approved and adhered to.
- The town strictly enforces these provisions through the issuance of citations and if necessary, stop work orders and Town correction of the violation at the owner's expense.

Driveway FAQ

- **Who should I call for an inspection?**

Please call Town Engineer to schedule an inspection at (608) 821-3979.

- **What is the turnaround time for a driveway permit?**

Typical turnaround for a regular driveway permit review is 3-4 days. Turnaround times for driveway reviews meeting the long and/or shared driveway requirements vary.

- **When is the culvert inspection by the Town?**

The culvert's diameter, location, and total length are inspected when the driveway forms are in and prior to driveway installation. If you have questions or concerns about proper installation of the culvert, please refer to the Town code or contact the Town.

- **What can I expect of the typical review fee for a long and/or shared driveway?**

The review fees for long & shared driveways typically range between \$800 and \$1500. Higher engineering costs typically are a result of incomplete driveway applications or driveway designs requiring a variance.

- **After the proposed driveway configuration was reviewed and approved by the Town, site conditions or other conditions have required an adjustment to the proposed driveway design. Do I need to submit another application and pay an additional \$400?**

An updated sketch should be submitted and reviewed by the Town. In lieu of submitting an additional \$400 application fee, the applicant will be billed for actual Town review fees up to a maximum of \$800 total for regular driveways.

- **What is the typical Town variance process and are there additional fees involved?**

If the applicant has submitted a driveway application that does not meet Town ordinances, Town Engineer will work with the applicant and the Fire District to provide guidance to the applicant in order that they may design a driveway to accommodate emergency vehicles and meet the Town's requirements as is feasibly practicable. The Town Engineer will draft a letter to the Town Board for variance request as supported by the Fire District to be included as an agenda item at the next Board meeting. Pending approval by the Town Board, the Town Engineer will issue the driveway permit within a day or two after the Board approves the variance (s). Board meetings are typically held on the first and third Mondays of each month. The applicant will be subject to excess Town fees above the initial application fee for time required to complete the variance process.

- **Why is the maximum driveway grade limited to 4% within the first 20 feet from the edge of pavement?**

The maximum driveway grade is limited to 4% to accommodate Town snow plow vehicles and to prevent damage to private property and Town equipment.

- **Why isn't the maximum allowable driveway slope similar to the Dane County requirements of 12%?**

The maximum allowable driveway slope in the Town is 10%. Based on the steep topography and the length of many driveways within the Town of Middleton, the Fire District requests a comprehensive review of any driveway with slopes over 10% to ensure emergency vehicle access is attainable.

- **Should the last 3 feet or the last 5 feet be left unpaved if the driveway is being poured on a road with binder course?**

Current Town Ordinance requires driveways installed adjacent to binder course pavement shall leave the last 5 feet unpaved abutting the street or construct your driveway with concrete, asphalt, brick, etc., to the edge of pavement and then have the last 5 feet removed and replaced at the owner's expense when final pavement is placed.

- **Why is the minimum width of gravel driveway 14' but an asphalt or concrete driveway width 12'?**

A 1' gravel shoulder is required on each side of an asphalt driveway as preferred by the Fire District and standard engineering practice. If a gravel driveway of 12' was previously approved and installed then subsequently the homeowner wished to pave the driveway with asphalt, the gravel portion would need to be widened prior to placing asphalt.

- **What restrictions are placed on a lot that includes a Public Recreational Trail easement or Public Stormwater easement?**

The proposed home layout may not encroach on either a Public Recreational Trail easement or Public Stormwater easement. Buildings, garages, accessory structures, driveways, trees, shrubs and patios/stoops are not permitted in these easements per Town Code. In addition, a site plan review is required to verify stormwater is properly accounted for. No construction that results in changes to the existing improvements, grades or drainage patterns within these easements shall be allowed.

**TOWN OF MIDDLETON
BUILDING PERMIT FEE SCHEDULE
2025-2027**

New Single-Family Completion Deposit: \$2,500

One- & Two-Family Dwellings

- a. New Structure and Additions – All Areas\$ 0.15 per sq. ft. (*\$250.00 min*)
PLUS
 - Mechanicals – All Areas
 - Electrical \$0.08 per sq. ft. (*\$125.00 min*)
 - Plumbing..... \$0.08 per sq. ft. (*\$125.00 min*)
 - HVAC..... \$0.08 per sq. ft. (*\$125.00 min*)
 - State seal..... \$40.00
 - Erosion Control..... \$150.00
- b. Remodels\$15.00 per thousand of estimated cost (*\$200.00 min*) *Plus mechanicals*
- c. Accessory Structures..... \$ 0.15 per sq. ft. all areas (*\$125.00 min*)
- d. Swimming Pools..... \$375.00
- e. Miscellaneous Replacements \$125.00
- f. Electrical Service Upgrade and Temp services \$150.00
- g. Solar Photovoltaic Roof Top Installations..... \$300.00

Commercial Buildings

- a. New Structure and Additions – All Areas \$0.18 per sq. ft. (*\$375.00 min*)
PLUS
 - Mechanicals
 - Electrical \$0.10 per sq. ft. (*\$175.00 min*)
 - Plumbing..... \$0.10 per sq. ft. (*\$175.00 min*)
 - HVAC..... \$0.10 per sq. ft. (*\$175.00 min*)
- b. Remodels\$18.00 per thousand of estimated cost (*\$375.00 min*) *plus mechanicals*
- c. Miscellaneous Replacements \$225.00
- d. Electrical Service Upgrade and Temp Services \$250.00

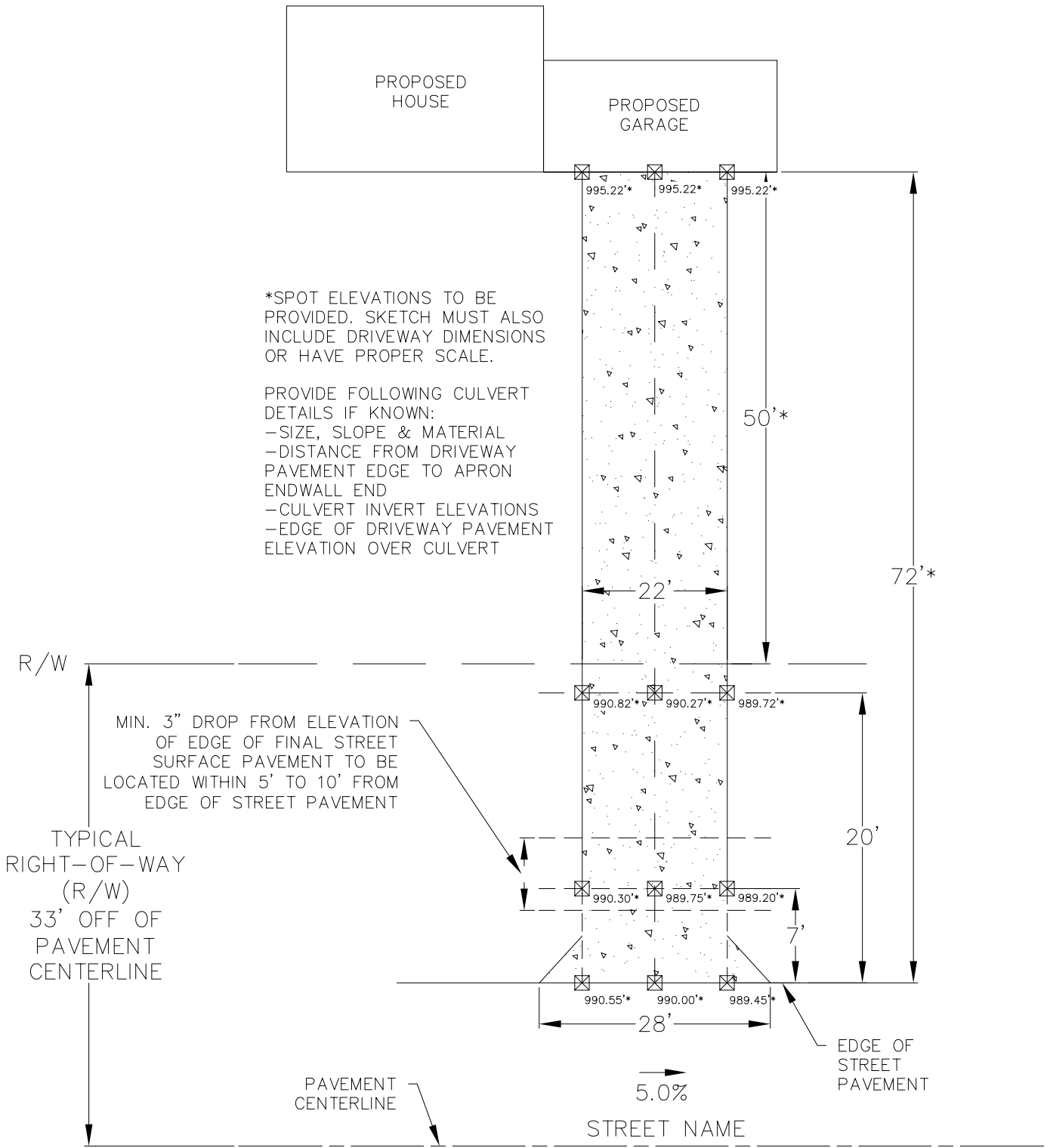
Other

- a. Razing Fee \$250.00
- b. Agricultural Buildings..... \$175.00
- c. Early Start Permit/Residential \$225.00
- d. Early Start Permit/Commercial..... \$375.00
- e. Reinspection fees..... \$100.00

Driveway Permits (effective 5/17/2021)

- All Driveway Permit Applications (not including maintenance or repaving activities)..... \$400.00
- For Applicants wishing to pursue the variance process, the Applicant shall pay for the additional costs incurred in excess of \$400.
- For Applicants with parcels requiring staff level site plan review, the Applicant shall pay for additional review costs incurred in excess of \$400.
- If it is determined that the requirements of the shared and long driveway section of Chapter 8.01 of the Town's ordinances apply, the Applicant shall pay for the additional costs incurred in excess of \$400.
 - a. For applications that are part of a building project, the additional costs incurred by the Town shall be paid before the building Occupancy Permit is granted.
 - b. For applications that are not part of a building project, the additional costs incurred by the Town shall be paid within 30 days of receipt of invoice from the Town.

M:\Middleton, Town of Middleton Standard Details\CAD\MSDD-NEW DRIVEWAY PERMIT-PLAN.dwg by: tbon 05 Mar 2021 - 8:13a



*SPOT ELEVATIONS TO BE PROVIDED. SKETCH MUST ALSO INCLUDE DRIVEWAY DIMENSIONS OR HAVE PROPER SCALE.

PROVIDE FOLLOWING CULVERT DETAILS IF KNOWN:
 - SIZE, SLOPE & MATERIAL
 - DISTANCE FROM DRIVEWAY PAVEMENT EDGE TO APRON ENDWALL END
 - CULVERT INVERT ELEVATIONS
 - EDGE OF DRIVEWAY PAVEMENT ELEVATION OVER CULVERT

MIN. 3" DROP FROM ELEVATION OF EDGE OF FINAL STREET SURFACE PAVEMENT TO BE LOCATED WITHIN 5' TO 10' FROM EDGE OF STREET PAVEMENT

R/W
 TYPICAL RIGHT-OF-WAY (R/W)
 33' OFF OF PAVEMENT CENTERLINE

PAVEMENT CENTERLINE

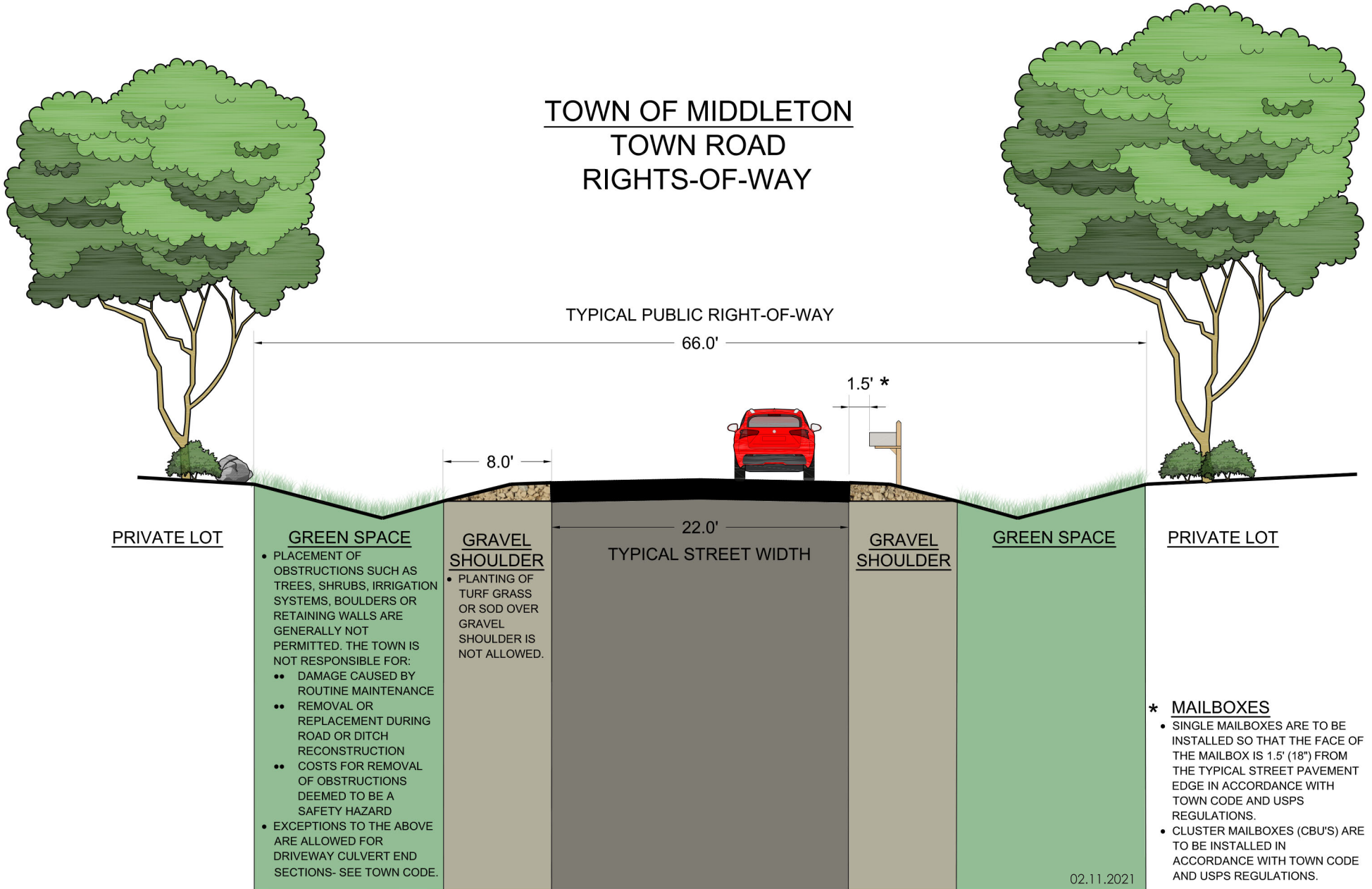
5.0%
 STREET NAME

EDGE OF STREET PAVEMENT



DATE	03/02/2021	REV.
DRAFTER	TBON	SHEET
CHECKED	JMON	1 OF 1
PROJECT NO.	210004	

TOWN OF MIDDLETON TOWN ROAD RIGHTS-OF-WAY



GREEN SPACE

- PLACEMENT OF OBSTRUCTIONS SUCH AS TREES, SHRUBS, IRRIGATION SYSTEMS, BOULDERS OR RETAINING WALLS ARE GENERALLY NOT PERMITTED. THE TOWN IS NOT RESPONSIBLE FOR:
 - DAMAGE CAUSED BY ROUTINE MAINTENANCE
 - REMOVAL OR REPLACEMENT DURING ROAD OR DITCH RECONSTRUCTION
 - COSTS FOR REMOVAL OF OBSTRUCTIONS DEEMED TO BE A SAFETY HAZARD
- EXCEPTIONS TO THE ABOVE ARE ALLOWED FOR DRIVEWAY CULVERT END SECTIONS- SEE TOWN CODE.

GRAVEL SHOULDER

- PLANTING OF TURF GRASS OR SOD OVER GRAVEL SHOULDER IS NOT ALLOWED.

GRAVEL SHOULDER

*** MAILBOXES**

- SINGLE MAILBOXES ARE TO BE INSTALLED SO THAT THE FACE OF THE MAILBOX IS 1.5' (18") FROM THE TYPICAL STREET PAVEMENT EDGE IN ACCORDANCE WITH TOWN CODE AND USPS REGULATIONS.
- CLUSTER MAILBOXES (CBU'S) ARE TO BE INSTALLED IN ACCORDANCE WITH TOWN CODE AND USPS REGULATIONS.

02.11.2021

TOWN ROADS AND RIGHT OF WAYS

Town roads consist not only of the surfaced portion of the road but the entire width of the right of way. The Town, by ordinance, has established a width of 66 feet for rights of way dedicated to the Town. Some roads are as old as the Town and became roads simply through use and the width may vary.

Once a road is dedicated to and accepted by the Town, or when a road becomes a public highway by user, The Town is responsible for the improvement, maintenance and general care of road.

Questions sometimes arise regarding the rights and responsibilities of the Town and the rights and responsibilities of adjoining landowners. Here is how some of it works.

Trees, Shrubs and Vegetation

Generally, no form of vegetation can be planted ("cultivated") within highway rights of way without the permission of the Town. It is fairly common for Towns to allow for the planting of certain types of trees within rights of way provided that there is no risk to public safety (for example, there is a prohibition on planting any type of vegetation in vision corners) as attractive street trees can enhance local neighborhoods and thoroughfares.

When trees, shrubs or other vegetation in the right of way create a safety hazard, including overhanging shrubs and tree branches whether the tree or shrub is located in the right of way or on adjoining property, the Town may remove the hazard by either cutting down the shrub or tree or trimming it. When the tree or shrub is located on adjacent private property, towns will typically trim the vegetation back to the property line. Whether vegetation in the right of way is trimmed or removed depends on a number of factors including the likelihood that a problem will recur, the overall health of the vegetation and, at times, the wishes of the adjoining landowner. No one can remove or injure the trees on Town rights of way except for the Town or someone who has the Town's permission to do so.

The Town may order that any tree located on private property that has become diseased and poses a threat to public property be removed by the landowner. Such trees are deemed to be public nuisances both because of the threat to public property and, in some cases, because of the danger of the spread of disease to other trees in the Town.

When removing or trimming trees within public rights of way, the Town may pay the cost of removal or trimming or may assess such cost as a special charge against the adjoining real estate.

Public Utilities and Facilities

Utility poles, lines and cables may be placed in Town rights of way with the consent of the Town. While most of these facilities are now placed underground, telephone, electric, cable TV and similar facilities are frequently placed in highway rights of way as a matter of both convenience to the utility and service to residents. The Town has a permitting process for the location of these types of facilities.

Other Obstructions and Encroachments

Property owners are responsible to keep road rights of way free from obstructions and encroachments. Obstructions and encroachments can include fences, buildings, decorative and landscaping objects such as rocks or trellises and similar structures or objects. When such items are placed in the right of way, the Town

must provide the owner or occupant of the property with a notice to remove the obstruction or encroachment within 30 days. Failure to do so may lead to a court action for a monetary penalty and a court order for removal.

The Town does permit the placement of some landscaping and decorative items within rights of way with the permission of the Town Board. Please see § 8.02(3) of the Town Code for more information.

Mailboxes

The Town regulates the placement of mailboxes in rights of way both to comply with U. S. Postal Service regulations and to ensure that snowplowing and other highway maintenance services can be carried out safely without damage to Town equipment or injury to its operators or damage to the mailboxes themselves. Please see § 8.02(6) of the Town Code for more information.

Temporary Obstructions and Encroachments

From time to time, property owners find it necessary to perform work in Town rights of way whether it is repairing or replacing a driveway or culvert, performing landscaping work or depositing earth or fill within the right of way in connection with a building project. Permits from the Town are required for these activities.

Summary

DO'S

Before doing any work or placing **ANYTHING** within a right of way other than trash, recyclables or brush for pick-up, contact Town Hall and obtain the appropriate permit, if required.

Notify Town Hall of any dangerous conditions in any right of way, including the placement of encroachments, trees or vegetation that may create a safety hazard or pavement or culvert failures.

Mow and trim your lawn, including the portion of the lawn located in the right of way.

DON'TS

Install or place any items, including mailboxes, in the right of way without obtaining a permit or checking with the Town.

Remove any tree from the right of way without permission.

Change the grade of your driveway, remove culverts, or fill ditches without consulting the Town.

Dig in any right of way without consulting the Town and/or Digger's hotline.

Questions?

Section 8.02 of the Town Code contains the regulations for rights of way. Driveway and excavation permit forms are available on the Town website. For further information, please contact Town Hall at (608) 833-5887.